

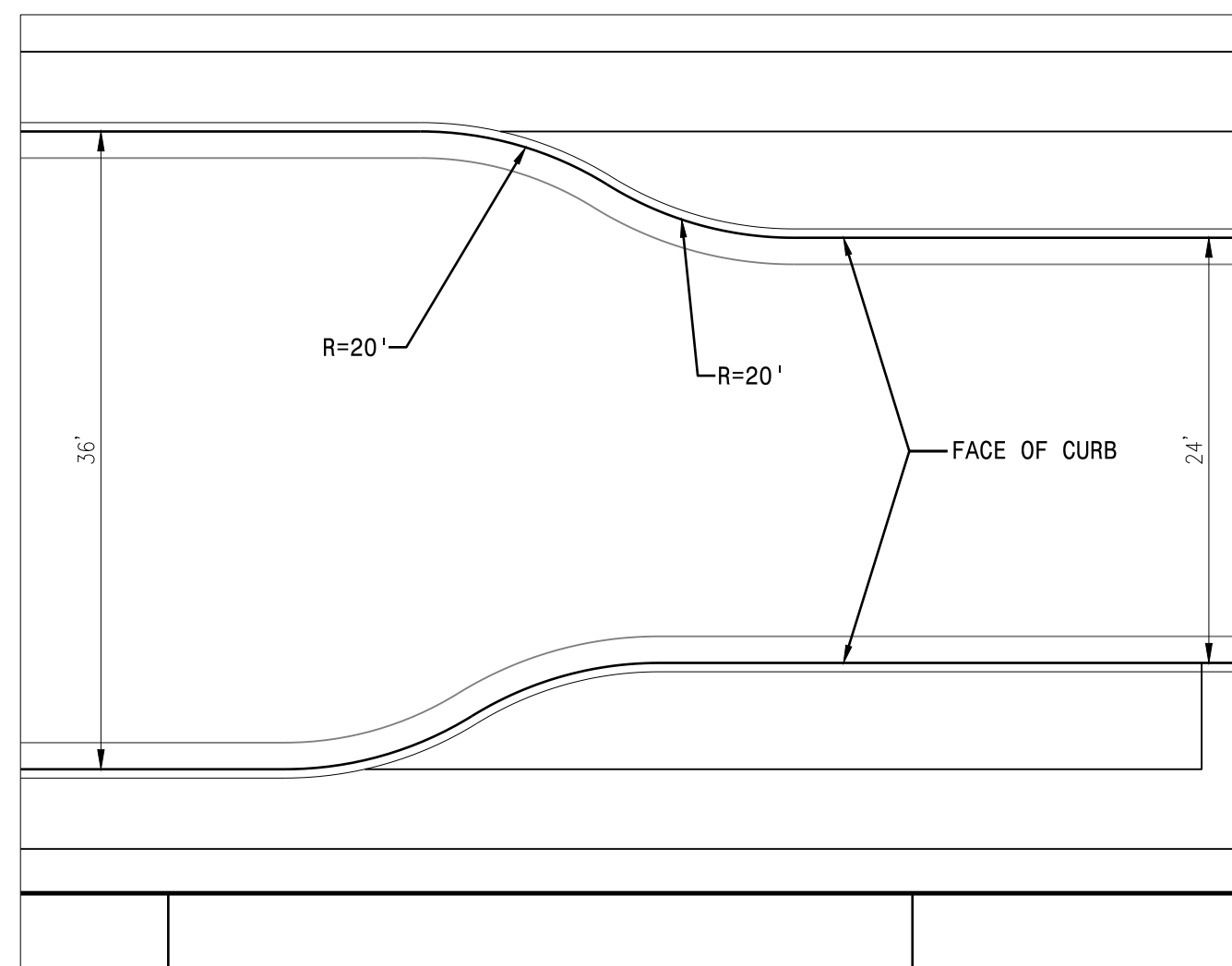
GENERAL NOTES

- OWNER : MELVIN D. COOKE TRUST
- APPLICANTS: VALLEJO-FAIRVIEW DEVELOPERS, LLC
- PLANNING / ENGINEER / SURVEYOR: MACKAY & SOMPS CIVIL ENGINEERS
5142 FRANKLIN DRIVE SUITE B
PLEASANTON, CA 94588
CONTACT: JIM TEMPLETON / ABEL GOMEZ
PHONE: (925) 225-0690
- GEOTECHNICAL ENGINEER: ENGeo INCORPORATED
2010 CROW CANYON PL #250
SAN RAMON, CA 94583
PHONE: (925) 866-9000
- BASIS OF ELEVATIONS - BENCHMARK: NGS POINT JT9530, STAINLESS STEEL ROD STAMPED "H 1394 1987", ELEVATION = 96.67', (NAVD88), LOCATED 0.80 MILES SOUTHWESTERLY ALONG INTERSTATE HIGHWAY 80 FROM THE JUNCTION OF STATE HIGHWAY 37 IN VALLEJO, APPROXIMATELY 71.2 FEET SOUTHWEST OF A FENCE CORNER, AND APPROXIMATELY 54.1 FEET NORTHWEST OF THE CORNER OF THE MOST WESTERLY WESTBOUND LANES OF INTERSTATE HIGHWAY 80.
- BASIS OF BEARINGS: THE BASIS OF BEARING FOR THIS MAP IS N 33°22'27" W BETWEEN FOUND MONUMENTS 9625 LOCATED AT THE INTERSECTION OF CRONIN AND HODGE STREETS AND 9636 LOCATED OFF PLAZA DRIVE IN A PARKING LOT BETWEEN 105 & 161 PLAZA DRIVE PER RECORD OF SURVEY FILED AT BOOK 22, PAGES 23-25, SOLANO COUNTY RECORDS.
- ASSESSOR'S PARCEL NUMBER: 0081-490-010
- PROPERTY ACREAGE: 51.3 ACRES
- STORM/SEWER SYSTEM: TO BE INSTALLED IN CONFORMANCE WITH VALLEJO SANITATION AND FLOOD CONTROL DISTRICT STANDARDS.
- WATER: TO BE INSTALLED IN CONFORMANCE WITH CITY OF VALLEJO STANDARDS.
- GAS & ELECTRICITY: TO BE INSTALLED IN CONFORMANCE WITH STANDARDS OF PACIFIC GAS AND ELECTRIC CO.
- TELEPHONE: TO BE INSTALLED IN CONFORMANCE WITH STADARDS OF AT&T.
- STREET IMPROVEMENTS: PER CITY OF VALLEJO STANDARDS.
- EXISTING ZONING: PEDESTRIAN SHOPPING & SERVICE DISTRICT.
- PROPOSED LAND USE: PLANNED DEVELOPMENT RESIDENTIAL DISTRICT, AND PEDESTRIAN SHOPPING & SERVICE DISTRICT.
- THE CONTOUR INTERVAL IS AS SHOWN (1' MIN.).
- PER FRM #06095C0440F; THERE IS PARTIAL INUNDATION IN THE SOUTHWEST CORNER NEAR ADMIRAL CALLAGHAN LANE.
- THE APPLICANT RESERVES THE OPTION TO PHASE THE MAPPING AND CONSTRUCTION OF THIS PROJECT IN VARIOUS COMBINATIONS OF FINAL MAPS/TRACT DEVELOPER AGREEMENTS AND/OR IMPROVEMENT AGREEMENTS, ALL AS APPROVED BY THE DIRECTOR OF PUBLIC WORKS.
- UNLESS OTHERWISE SPECIFICALLY STATED IN THE CONDITIONS OF APPROVAL, LOCAL AGENCY APPROVAL OF THIS MAP SHALL CONSTITUTE AN EXPRESS FINDING THAT THE PROPOSED DIVISION AND DEVELOPMENT OF THE SUBJECT PROPERTY WILL NOT UNREASONABLY INTERFERE WITH THE FEE AND COMPLETE EXERCISE OF RIGHTS DESCRIBED IN GOVERNMENT CODE SECTION 66436 (A)(3)(A)(1).
- UTILITY SIZES AND LOCATION, STREET GRADES AND LOT DIMENSIONS ARE PRELIMINARY AND SUBJECT TO FINAL ENGINEERING DESIGN AND HOUSE PLOTTING.
- DEVELOPER MAY RECORD ONE OR MORE FINAL TRACT MAPS ON THIS PROPERTY.
- ALL SEWER AND WATER MAINS ARE 8" MINIMUM. ALL STORM DRAINS ARE 12" MINIMUM.
- FACE OF CURB RETURN RADII WITHIN THE SUBDIVISION ARE 30'.
- BOUNDARY IS BASED ON RECORD INFORMATION.

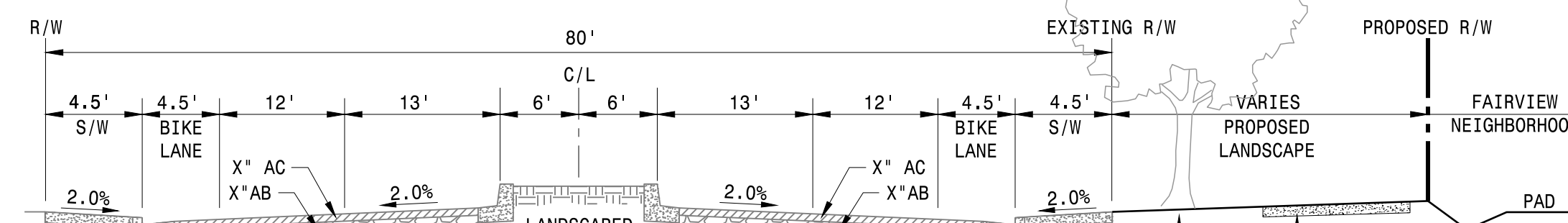
WATER QUALITY

THIS PROJECT PROPOSES THE FOLLOWING FOR TREATMENT OF STORM DRAIN RUNOFF:

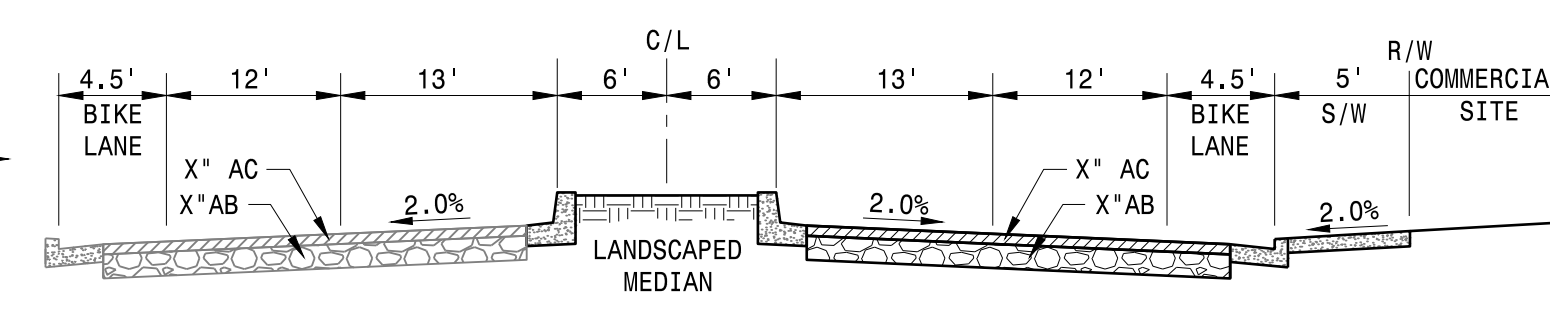
- RESIDENTIAL AREA: BIO-RETENTION SWALES WITHIN COMMON AREA
- COMMERCIAL AREA: BIO-SWALES WITHIN PARKING LOTS



TYPICAL CURB POPOUT DETAIL
N.T.S.



EXISTING TURNER PARKWAY
N.T.S.



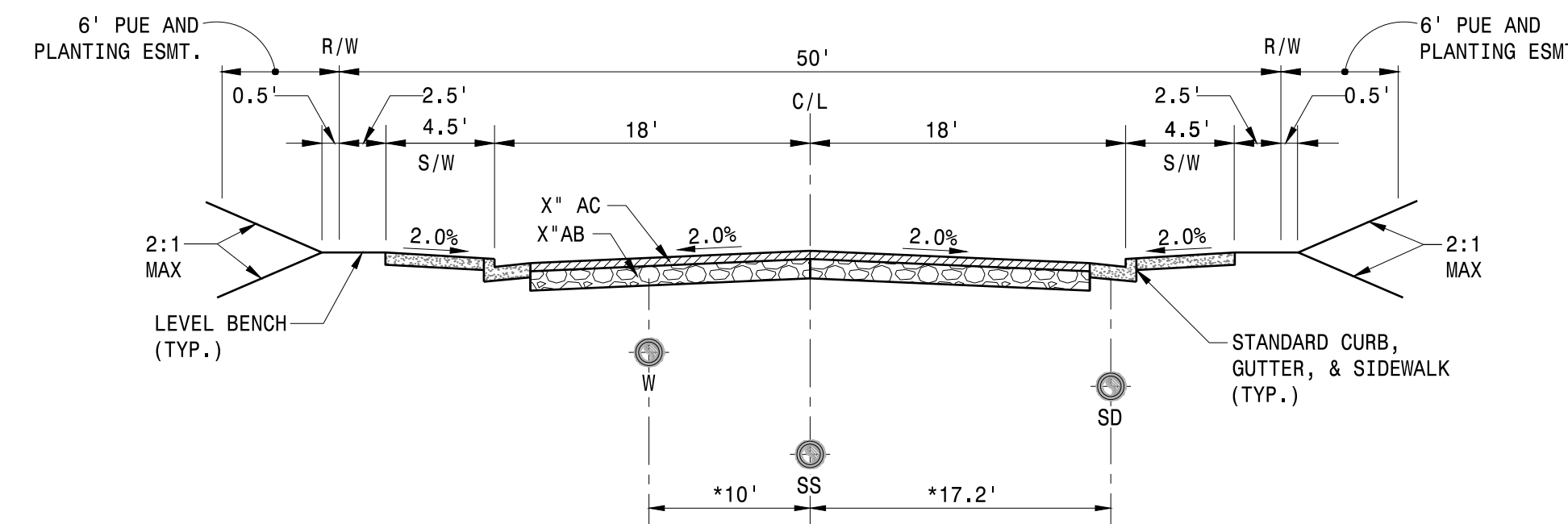
ADMIRAL CALLAGHAN LANE
N.T.S.

VESTING TENTATIVE MAP FAIRVIEW AT NORTHGATE VALLEJO, CALIFORNIA

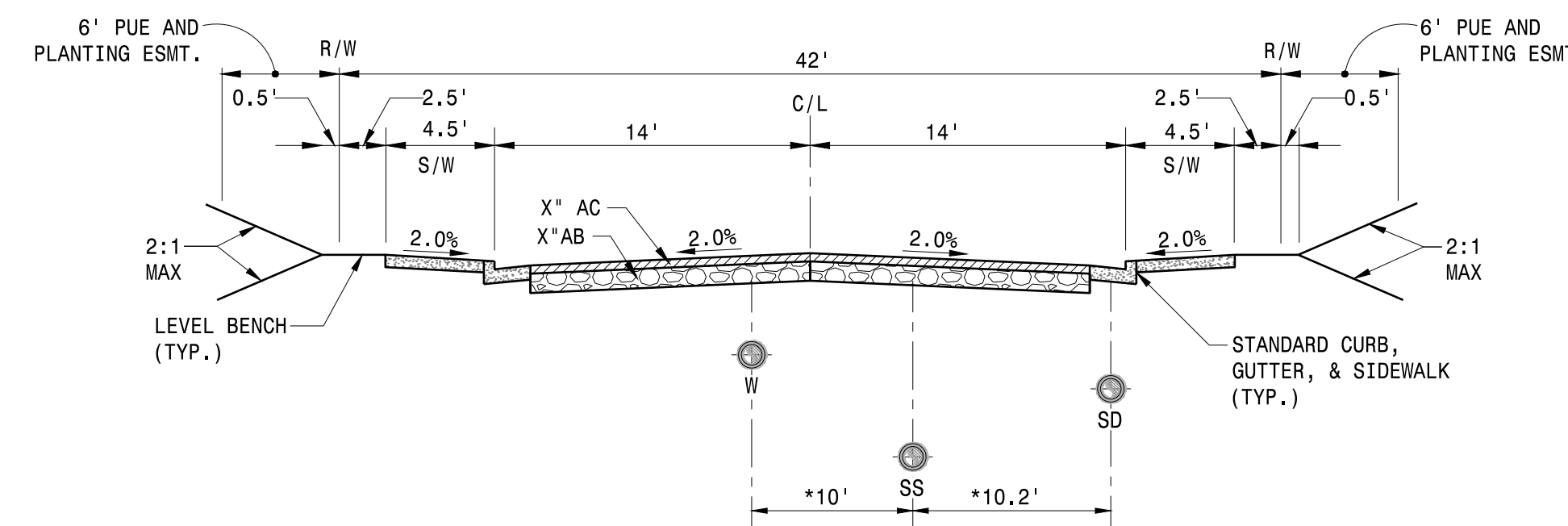
SEPTEMBER 2018
REVISED: MAY 2019

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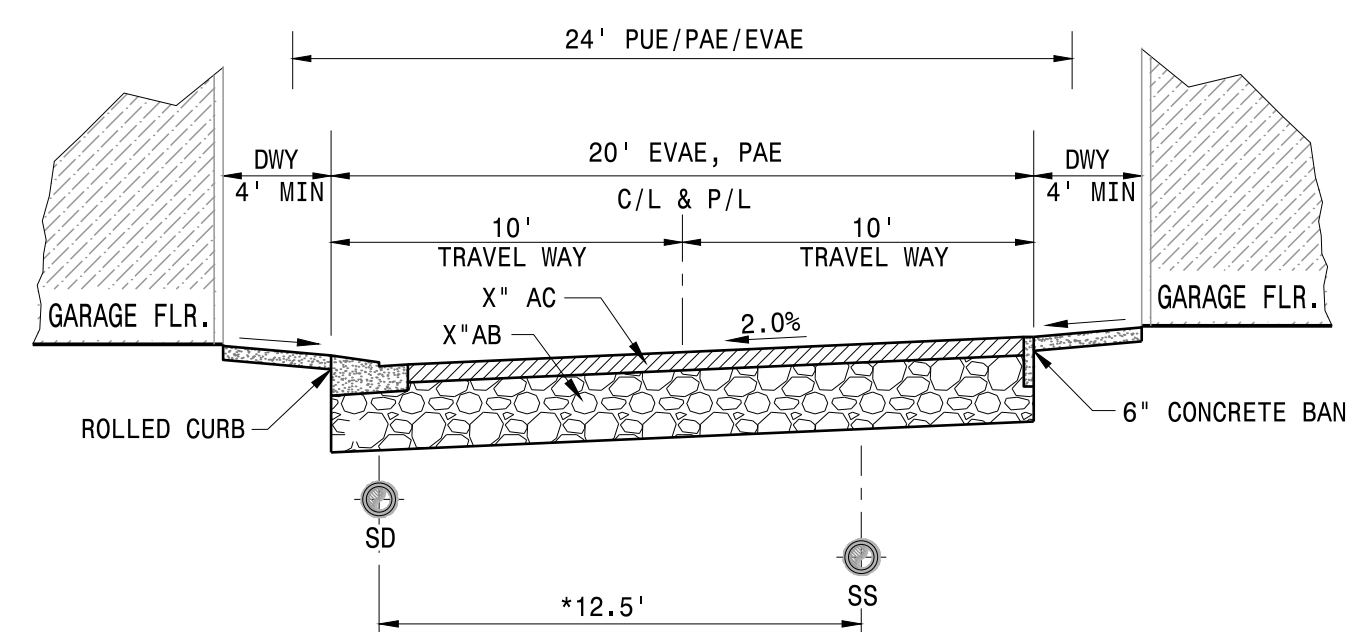
SHEET	DESCRIPTION
C1	COVER SHEET, GENERAL NOTES, AND VICINITY MAP
C2	LARGE LOT TENTATIVE PARCEL MAP
C3	RESIDENTIAL UTILITIES AND DETAILS
C4	GRADING PLAN AND DIMENSIONS



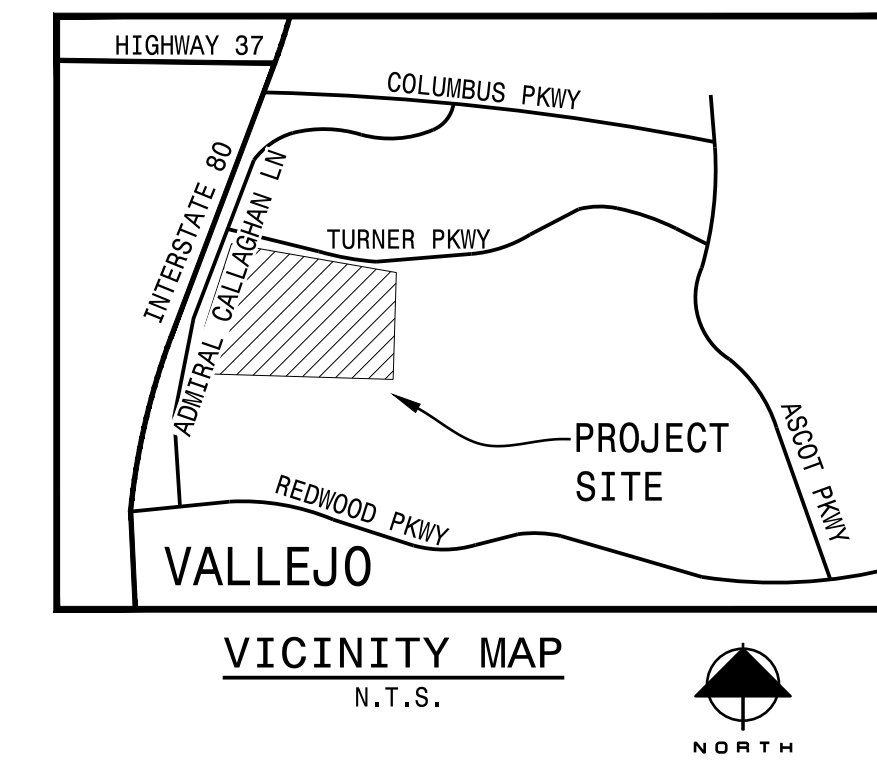
TYPICAL 50' R/W STREET SECTION
N.T.S.
*TYPICAL DIMENSIONS UNLESS OTHERWISE NOTED IN PLANS
(TO BE REFINED WITH FINAL DESIGN)



TYPICAL 42' R/W STREET SECTION
N.T.S.
*TYPICAL DIMENSIONS UNLESS OTHERWISE NOTED IN PLANS
(TO BE REFINED WITH FINAL DESIGN)



TYPICAL 20' ALLEY SECTIONS
N.T.S.
*TYPICAL DIMENSIONS UNLESS OTHERWISE NOTED IN PLANS
(TO BE REFINED WITH FINAL DESIGN)



VICINITY MAP
N.T.S.

GRADING NOTES/EROSION CONTROL NOTES

- THE EROSION CONTROL FACILITIES ARE DESIGNED TO CONTROL SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15 AFTER ROUGH GRADING HAS BEEN COMPLETED. MEASURES ARE TO BE OPERABLE PRIOR TO OCTOBER 1ST OF ANY YEAR GRADING OPERATIONS HAVE LEFT AREAS UNPROTECTED FROM EROSION.
- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS REQUIRED.
 - SILT FENCES, BERMS AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAPS RESTORED TO ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO WITHIN ONE FOOT OF OUTLET ELEVATION.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
- CONSTRUCTION ENTRANCE TO BE PROVIDED AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS.
- INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL TO BE BLOCKED UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THIS EROSION CONTROL PLAN SHALL BE MADE ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE CITY ENGINEER.
- SEDIMENT BASINS SHALL BE CLEANED OUT WHENEVER SEDIMENT REACHES THE SEDIMENT CLEANOUT LEVEL.
- THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD SUBJECT TO THE APPROVAL OF CITY.
- SHADING INDICATES AREAS TO RECEIVE FILL.
- THE GRADING SHALL BE IN CONFORMANCE WITH THE CITY OF VALLEJO'S HILLSIDE GRADING ORDINANCE UNLESS OTHERWISE APPROVED.
- PROPOSED GRADES SHOWN ON THE PRELIMINARY GRADING PLAN ARE SUBJECT TO FINAL ENGINEERING DESIGN AND CITY REVIEW AND APPROVAL. ALL GRADING IS TO BE UNDERTAKEN PER THE RECOMMENDATIONS OF A SOILS REPORT AND UNDER THE OBSERVATION OF THE SOILS ENGINEER.
- ALL LOTS WILL DRAIN TO ADJACENT STREET.
- EXISTING CONTOUR INTERVAL IS AS SHOWN.
- SLOPES WITHIN LOT AREAS ARE TO BE GRADED AT A GRADIENT NOT TO EXCEED 2:1 (HORIZONTAL TO VERTICAL).
- ALL PADS ARE TO BE BERMED (PER DETAIL) TO PREVENT RUNOFF.
- SLOPES LESS THAN 10' HIGH WITHIN LOT AREAS, ARE TO BE GRADED AT A GRADIENT NOT TO EXCEED 2:1 (HORIZONTAL TO VERTICAL) UNLESS APPROVED BY THE SOILS ENGINEER.
- ALL DAYLIGHT CUT/FILLS TO BE ROUNDED TO CONFORM TO EXISTING TERRAIN.

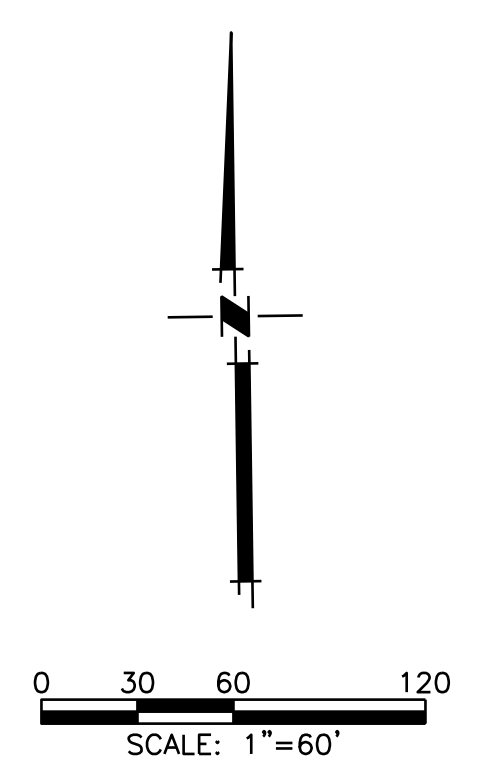
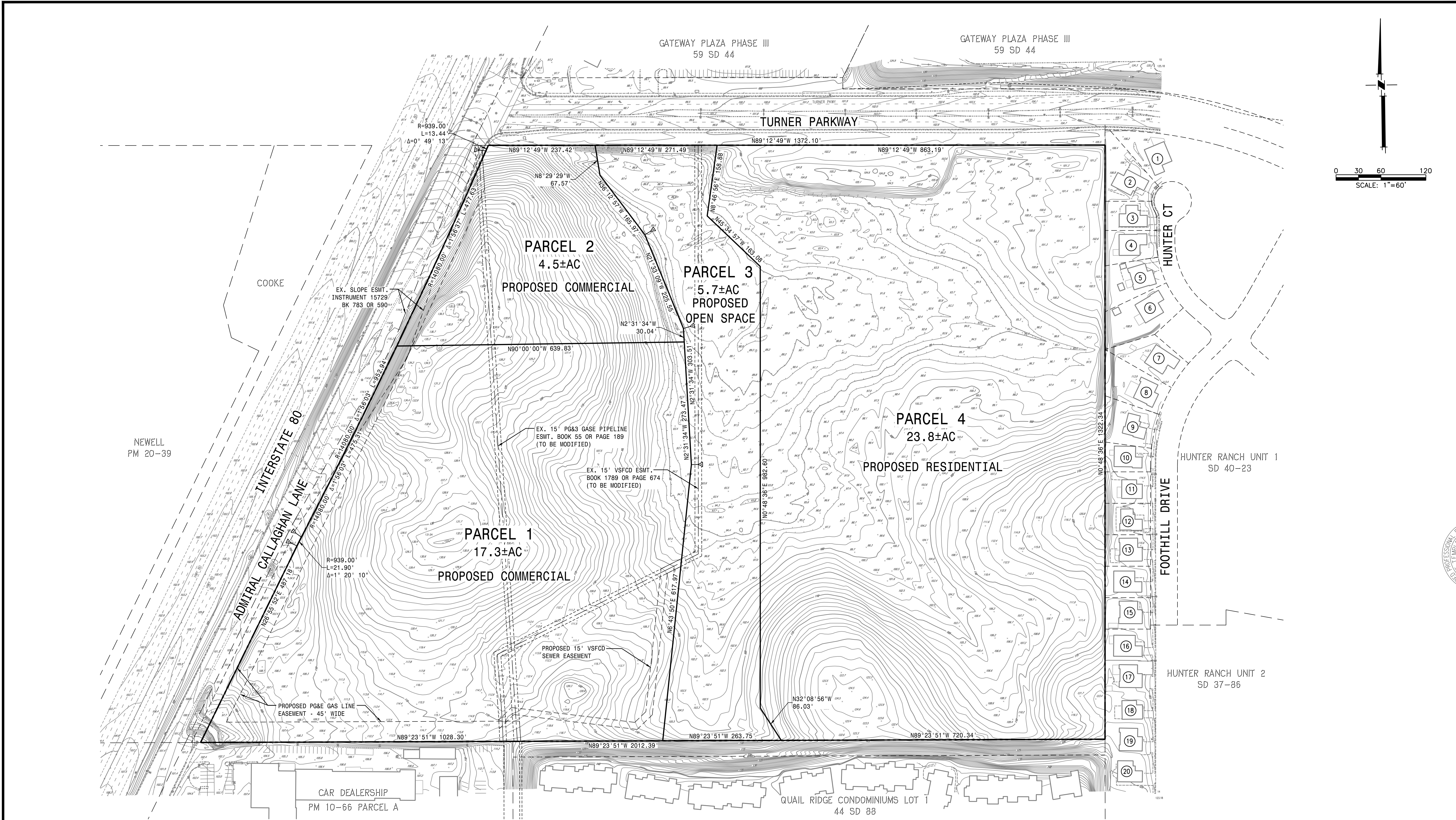
ABBREVIATIONS

AB - AGGREGATE BASE	HP - HIGH POINT
AC - ASPHALT CONCRETE	INV - INVERT
AP - ANGLE POINT	IRR - IRRIGATION
BNDY - BOUNDARY	JT - JOINT TRENCH
BW - BACK WALK	LP - LOW POINT
CB - CATCH BASIN	LT - LEFT
CL - CENTERLINE	MH - MANHOLE
C&G - CURB AND GUTTER	P - PAD
DI - DROP INLET	PAE - PUBLIC ACCESS EASEMENT
E - ELECTRICAL SERVICE	PL - PROPERTY LINE
EG - EXISTING GROUND	PS - PROTECTIVE SLOPE
EL - ELEVATION	PSE - PUBLIC SERVICE EASEMENT
EP - EDGE OF PAVEMENT	PUE - PUBLIC UTILITY EASEMENT
ER - END OF RETURN	PVC - POLYVINYL CHLORIDE
ESMT - EASEMENT	RT - RIGHT
EVAE - EMERGENCY VEHICLE ACCESS EASEMENT	R/W - RIGHT OF WAY
EX - EXISTING	REC - RECYCLED WATER
FC - FACE OF CURB	SD - STORM DRAIN
FG - FINISH GRADE	SS - SANITARY SEWER
FH - FIRE HYDRANT	S/W - SIDEWALK
FI - FIELD INLET	TC - TOP OF CURB
FL - FLOWLINE	TI - TRAFFIC INDEX
GB - GRADE BREAK	TYP - TYPICAL
HDPE - HIGH-DENSITY POLYETHYLENE	W - WATER
	WS - WATER SERVICE

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	SUBDIVISION BOUNDARY
---	---	RIGHT OF WAY / LOT LINE
---	---	CENTERLINE
---	---	FACE OF CURB
---	---	STORM DRAIN & INLET
---	---	STORM MANHOLE
---	---	SANITARY SEWER PIPE
---	---	SANITARY SEWER MANHOLE
---	---	WATER LINE & VALVES
---	---	FIRE HYDRANT WITH VALVE
---	---	BLOWOFF
---	---	AIR RELIEF VALVE

DATE: _____
 REVISION: _____
 NO. _____
 DATE: SEPTEMBER 2018
 SCALE: AS NOTED
 DRAWN BY: ASG
 CHECKED BY: JFT
 DESIGNED BY: ASG
 PROJECT NO. 19899
 SHEET 1 OF 4
 TENTATIVE MAP
 FAIRVIEW AT NORTHGATE
 COVER SHEET
 CITY OF VALLEJO
 CALIFORNIA
 JAMES F. TEMPLETON JR. REG # 43061
 No. 43061
 PLANS PREPARED UNDER THE DIRECTION OF: J. TEMPLETON JR.



NEWELL
PM 20-39

ADJOINING OWNER INFORMATION

PARCEL NUMBER	APN NUMBER	OWNER
1	0081-071-070	GARCIA ANGEL
2	0081-071-080	BRIONES RENE RYAN T
3	0081-071-090	CHILLARA JYOTHI
4	0081-071-100	BROWN WILMA E
5	0081-071-110	LACSON ALFONSO R
6	0081-081-010	JOHNSON ENRIQUETA
7	0081-081-030	VILLANUEVA ROSSINI R & CM
8	0081-081-050	GABRIELIAN MARIAM & OGANES
9	0081-081-060	TRINIDAD NADENE A
10	0081-081-070	CABANILLA BENJAMIN C & EJ

ADJOINING OWNER INFORMATION

PARCEL NUMBER	APN NUMBER	OWNER
11	0081-081-070	ARCIBAL MANUELITO S & IV
12	0081-081-080	SHELBY CLARA
13	0081-081-090	FONG TAT
14	0081-081-100	CABULOY MARK J
15	0081-081-110	CAMPOS PRISCA D
16	0081-111-010	DELEON OTTO & MARTHA
17	0081-111-020	ELIAPPO ARSENIA
18	0081-111-030	ALVAREZ JENNIFER & RODELL
19	0081-111-040	MENDOZA RUTHERFORD
20	0081-111-050	TIEN MICHAEL & SUMEI

NOTE:
1. DEVELOPER RESERVES THE RIGHT TO ADJUST INTERNAL LOT LINES AND PARCEL SIZE TO ACCOUNT FOR CHANGES IN THE LAND PLANS DURING THE ENTITLEMENT PROCESS.

DATE: _____
REVISION: _____

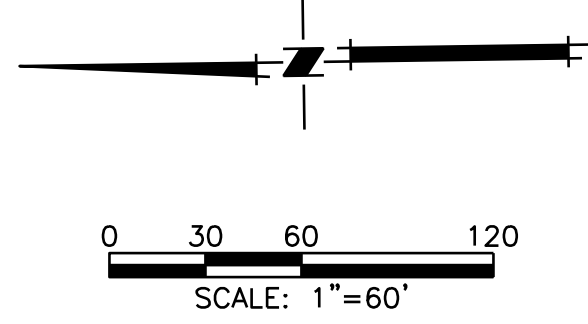
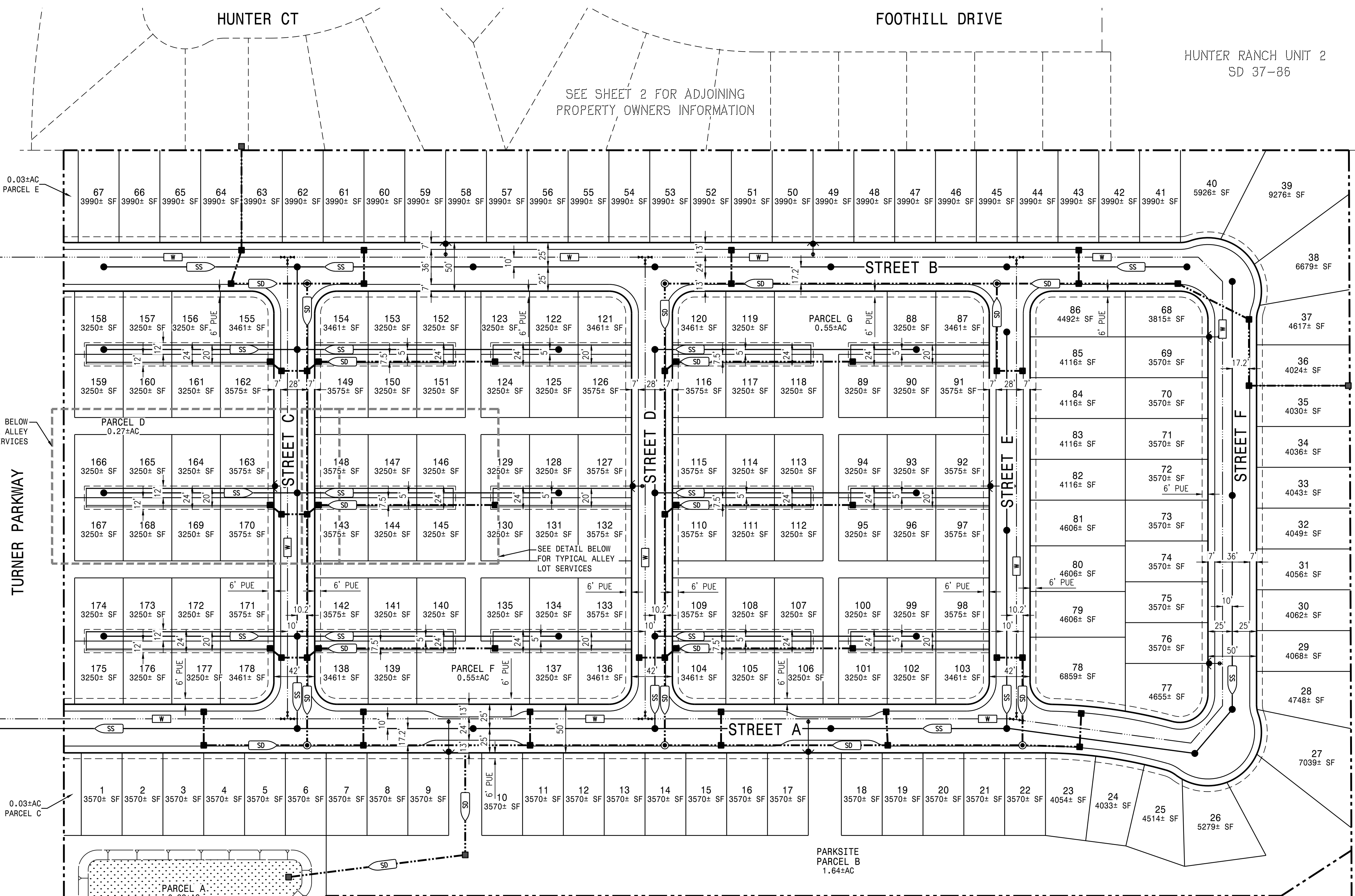
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DRAWN BY: ASG
DESIGNED BY: JFT
CHECKED BY: JFT

MACKAY & SOMPS
MACKAY & SOMPS IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THIS INFORMATION UNLESS SPECIFICALLY STATED OTHERWISE.

PLANS PREPARED UNDER THE DIRECTION OF:
JAMES F. TEMPLETON JR. No. 43061
PROFESSIONAL ENGINEER
CALIFORNIA

LARGE LOT TENTATIVE PARCEL MAP
FAIRVIEW AT NORTHGATE
CITY OF VALLEJO

PROJECT NO. 19899
SHT 2 OF 4



- NOTES:**
- SEE SHEET 4 FOR GRADING INFO
 - ACTUAL SIZE AND SHAPE OF BIO-SWALE/BASIN TO BE RESOLVED WITH FINAL DESIGN
 - ALL SEWER AND WATER MAINS ARE ASSUMED TO BE 8" UNLESS NOTED. STORM DRAIN PIPES WILL VARY IN SIZE. ACTUAL SIZE TO BE DETERMINED DURING FINAL DESIGN.
 - ALL WATER SERVICES SHALL BE A MINIMUM OF 1" WITH A 1" METER
 - FOR LOTS 87-178, WATER SERVICE WILL BE FROM PUBLIC STREET/PASEO, SEWER SERVICE WILL BE FROM MAIN IN ALLEY, OR MAIN IN STREET.
 - ALL ALLEYS AND UTILITIES WITHIN ARE PRIVATE.
 - THE WATER SYSTEM SHOWN IS PRELIMINARY IN NATURE. DURING FINAL DESIGN, THE LOCATIONS OF VALVES, ARV, AND OTHER FACILITIES WILL BE DETERMINED IN CONJUNCTION WITH THE CITY'S WATER DEPARTMENT.

CONNECT TO EX W MAIN IN TURNER PRKW AND CUT IN NEW TEE

SEE DETAIL BELOW FOR TYPICAL ALLEY LOT SERVICES

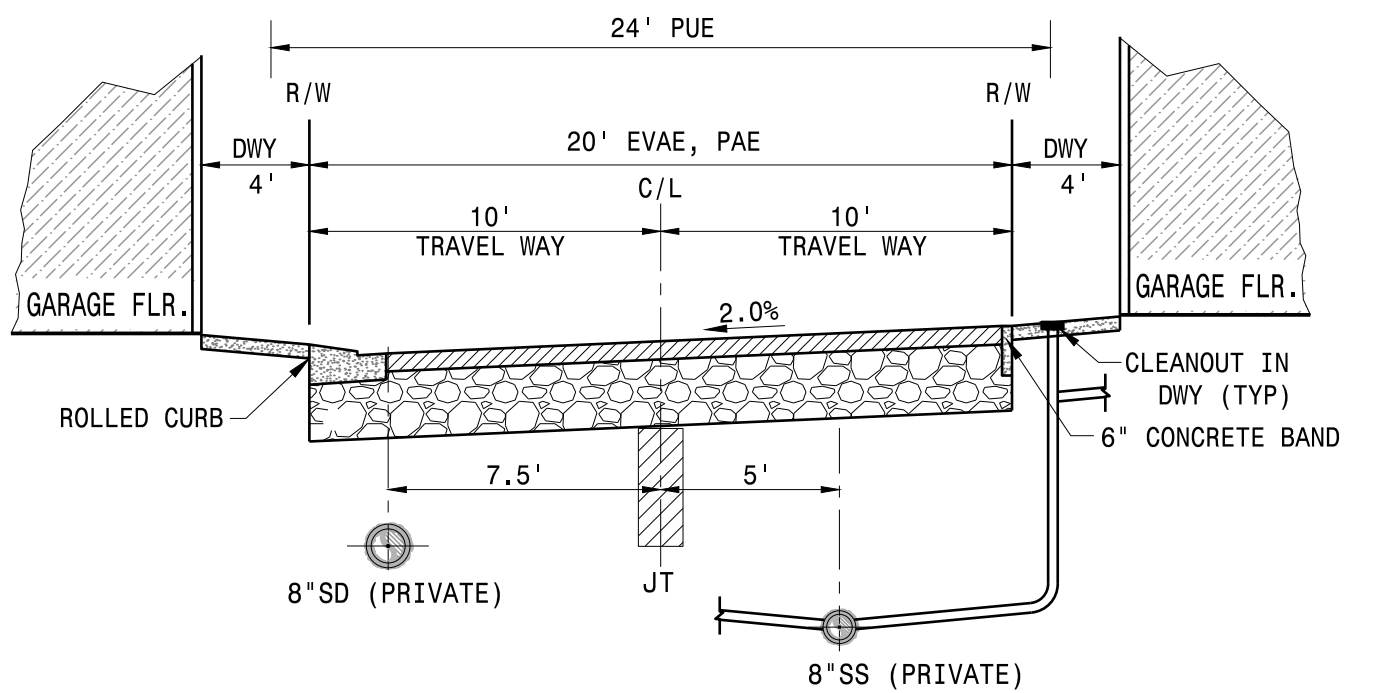
SEE DETAIL BELOW FOR TYPICAL ALLEY LOT SERVICES

CONNECT TO EX W MAIN IN TURNER PRKW AND CUT IN NEW TEE

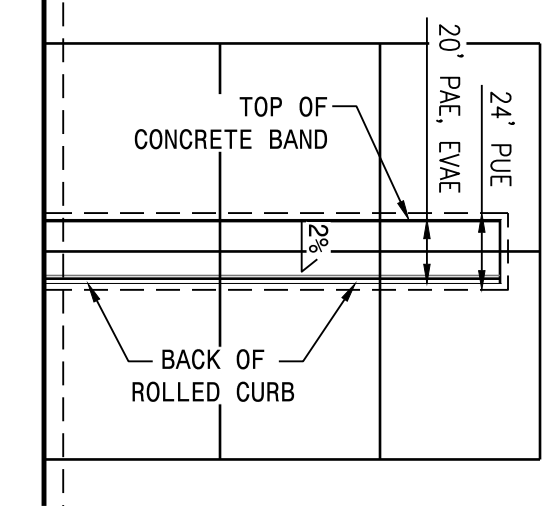
CONNECT TO EX SS MAIN IN TURNER PRKW

LAND USE/OWNERSHIP SUMMARY:

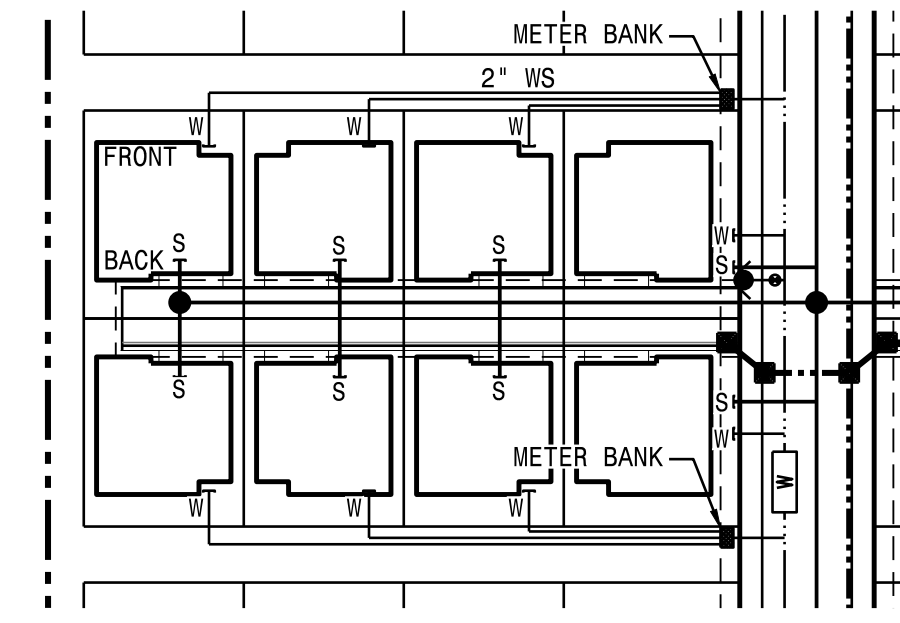
LOT/PARCEL	PROPOSED USE	OWNERSHIP	AREA WITHIN LMD (Ac ²)
LOTS 1-86	SINGLE FAMILY DETACHED (85' X 42' MIN)	PRIVATE	VARIABLES
LOTS 87-178	CLUSTER LOT (50' X 65' MIN)	PRIVATE	VARIABLES
PARCEL A	BIO-RETENTION BASIN	HOA	0.92
PARCEL B	PARKSITE/LANDSCAPE AREA PEDESTRIAN ACCESS AREA	HOA	1.70
PARCEL C,E	PARKSITE/LANDSCAPE AREA	HOA	0.06
PARCEL D,F,G	PARKSITE/LANDSCAPE AREA PEDESTRIAN ACCESS WATERLINE EASEMENT	HOA	1.37



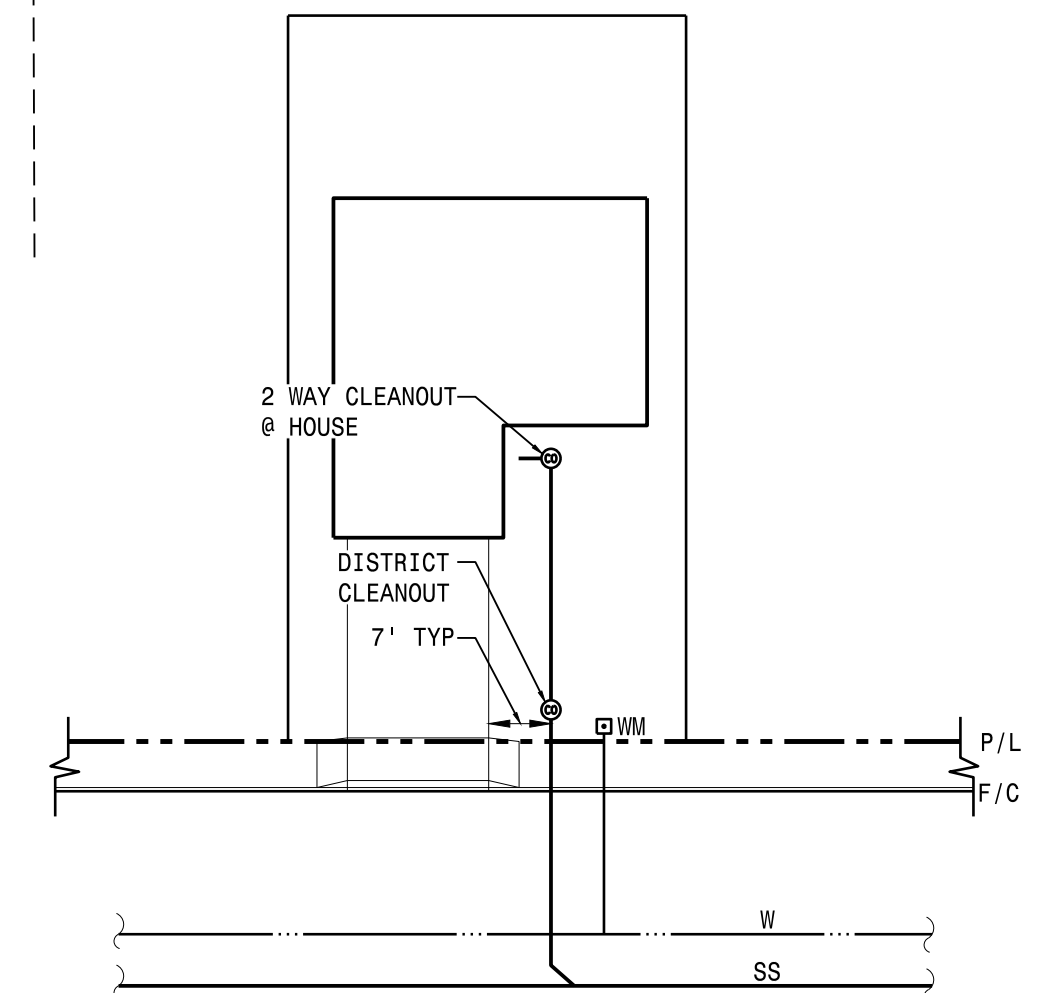
TYPICAL 20' ALLEY UTILITY LOCATIONS
N.T.S.



TYPICAL ALLEY EASEMENTS
N.T.S.



TYPICAL ALLEY LOT SERVICES
FOR LOTS 87-178
N.T.S.



TYPICAL SINGLE-FAMILY LOT SERVICES
FOR LOTS 1-86
N.T.S.

DATE: _____

REVISION: _____

DATE: SEPTEMBER 2018

SCALE: _____

DRAWN BY: ASG

DESIGNED BY: ASG

CHECKED BY: JFT

MACKAY & SOMPS

PROFESSIONAL ENGINEER

PLANS PREPARED UNDER THE DIRECTION OF:

JAMES F. TEMPLETON JR. No. 43061

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CITY OF VALLEJO, CALIFORNIA

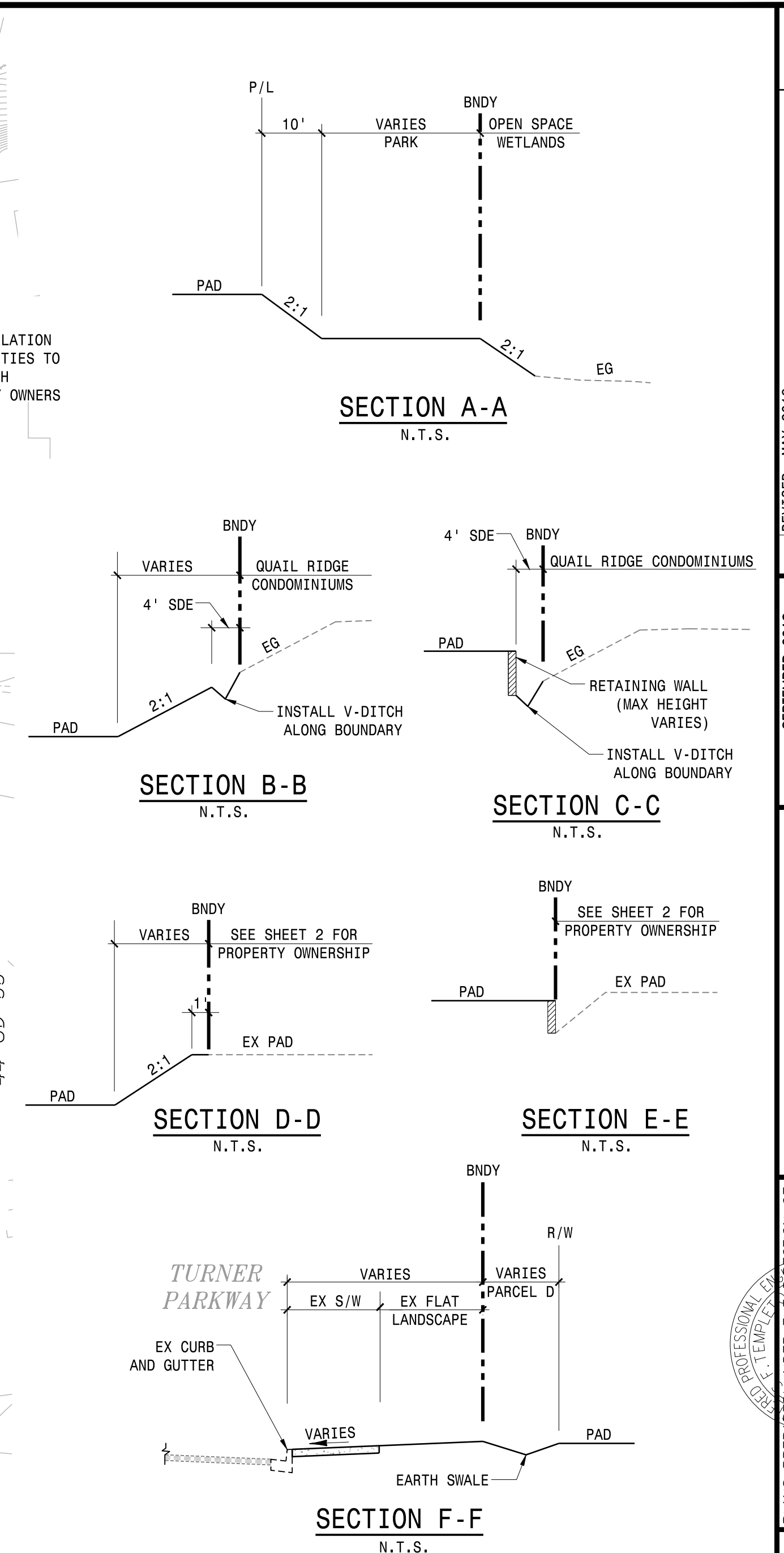
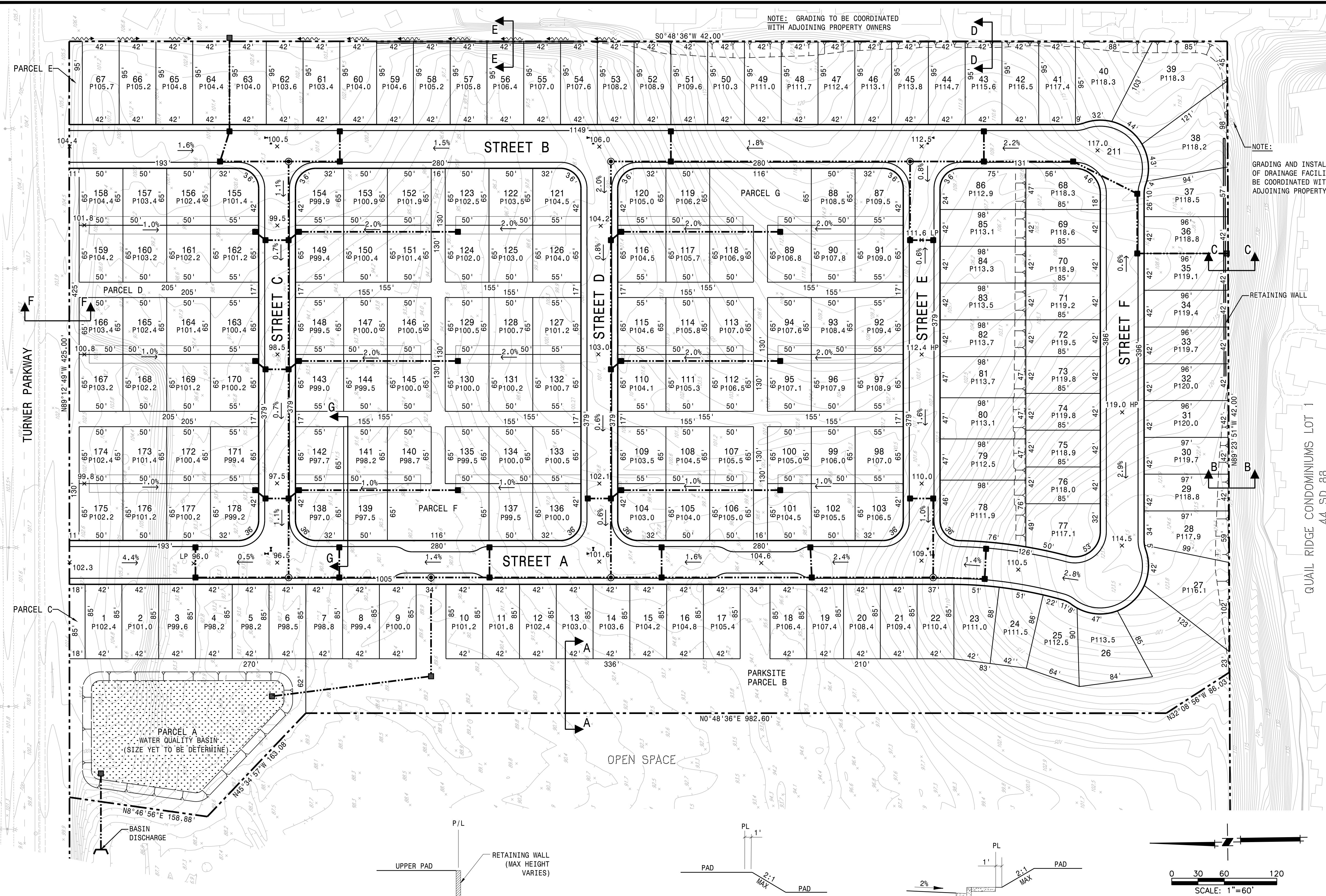
SMALL LOT TENTATIVE MAP

FAIRVIEW AT NORTHGATE

RESIDENTIAL UTILITIES AND DETAILS

PROJECT NO. 19899

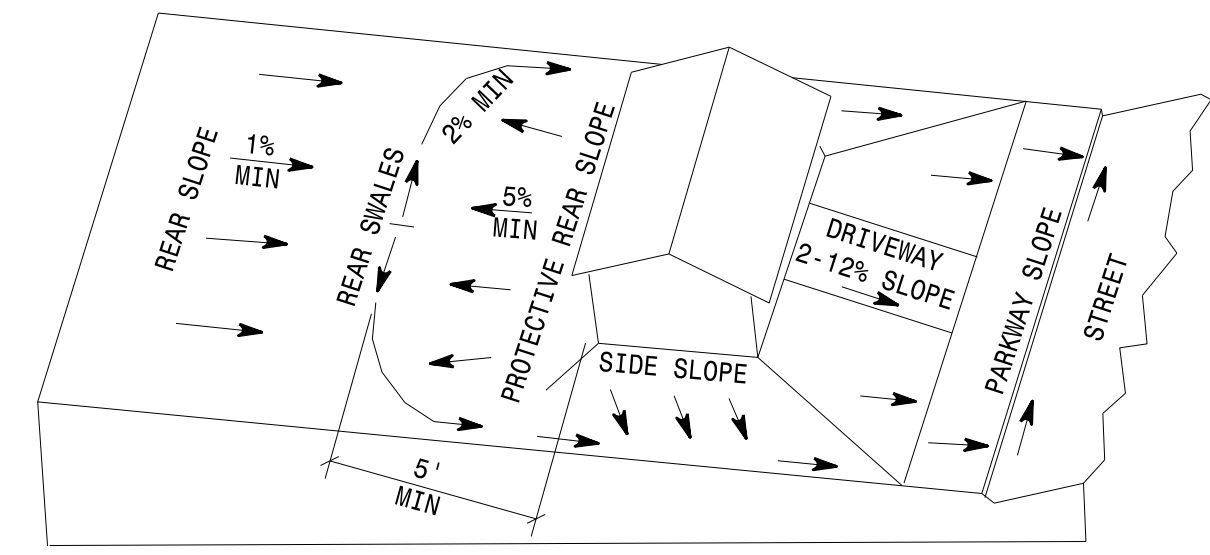
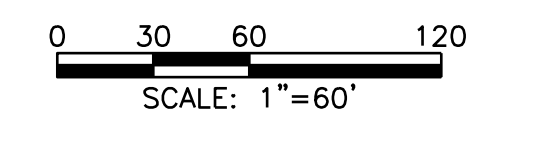
SHT 3 OF 4



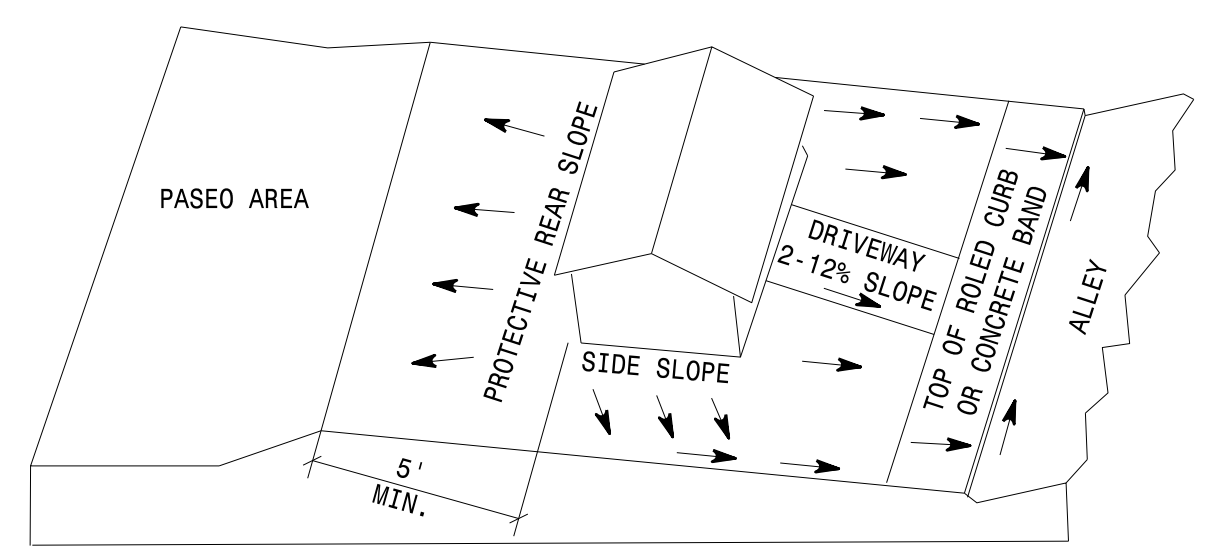
SINGLE WALL ON P/L - REAR OR SIDE
N.T.S.

TYPICAL SIDE/REAR YARD DETAIL
N.T.S.

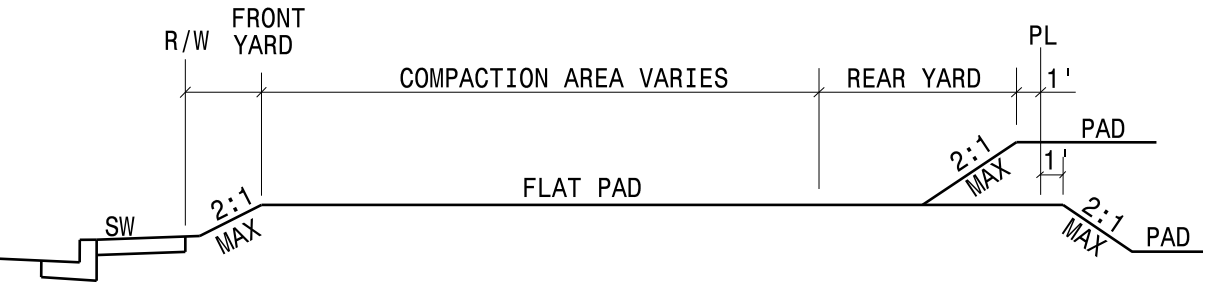
TYPICAL CORNER LOT GRADING
N.T.S.



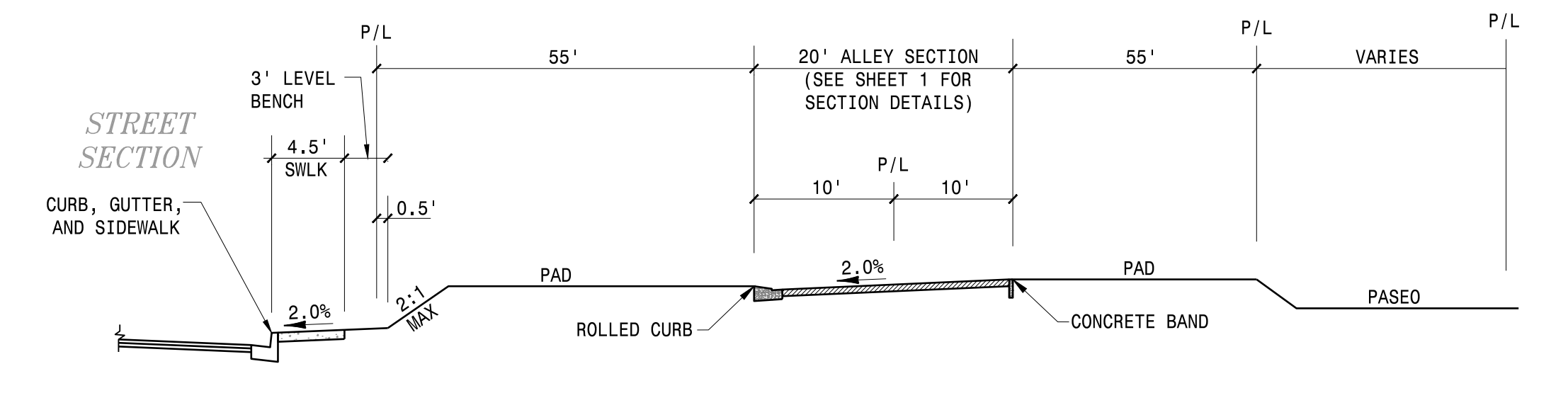
TYPICAL FINISHED LOT GRADING - FRONT LOADED
N.T.S.



TYPICAL FINISHED LOT GRADING - ALLEY UNIT
N.T.S.



TYPICAL LOT SECTION - FRONT LOADED
N.T.S.



SECTION G-G
N.T.S.

NOTE: GRADING TO BE COORDINATED WITH ADJOINING PROPERTY OWNERS

NOTE: GRADING AND INSTALLATION OF DRAINAGE FACILITIES TO BE COORDINATED WITH ADJOINING PROPERTY OWNERS

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MACKAY & SOMPS
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL ENGINEERING
 1111 TEMPLETON DRIVE, PLEASANTON, CA 94566
 (925) 222-9000
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 PLANS PREPARED UNDER THE DIRECTION OF:
 JAMES F. TEMPLETON JR. REG # 43061
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL ENGINEERING
 CALIFORNIA
SMALL LOT TENTATIVE MAP
FAIRWAY AT NORTHGATE
RESIDENTIAL GRADING PLAN AND LOT DIMENSIONS
 CITY OF VALLEJO
 PROJECT NO. 19899
 SHEET 4 OF 4